

CHAPTER 1.16 OVERLAY ZONES

Sections:

- 1.16.005 Spring Hollow Legends Overlay Zone Purpose.
- 1.16.010 Spring Hollow Legends Overlay Zone Uses.
- 1.16.015 Spring Hollow Legends Overlay Zone Lot Regulations.
- 1.16.020 Spring Hollow Legends Overlay Zone Required Amenities and Specified Timeframe.
- 1.16.025 Tremont Center Overlay Zone Purpose.
- 1.16.030 Underlying Zone of the Tremont Center Overlay Zone.
- 1.16.035 Tremont Center Mixed Use Overlay Zone Uses.
- 1.16.040 Tremont Center Mixed Use Overlay Zone Lot Regulations.
- 1.16.045 Tremont Center Mixed Use Overlay Zone Required Design Guidelines.
- 1.16.050 Tremont Center Sign Standards.
- 1.16.055 Aspen Grove Recreational Vehicle (RV) Park Purpose.
- 1.16.060 Aspen Grove Recreational Vehicle (RV) Park Overlay Zone Uses.
- 1.16.065 Aspen Grove Recreational Vehicle (RV) Park Overlay Zone Site Regulations.
- 1.16.070 Stokes Warner Sign Overlay Zone.
- 1.16.075 Edgewood Overlay Zone Purpose.
- 1.16.080 Edgewood Overlay Zone Uses.
- 1.16.085 Edgewood Overlay Zone Lot Regulations.
- 1.16.090 Edgewood Overlay Zone Housing Type Location, Number of Units, and Density.
- 1.16.095 Edgewood Overlay Zone Required Amenities and Specified Timeframe.
- 1.16.100 Aspen Ridges North Overlay Zone Purpose.
- 1.16.105 Aspen Ridges North Overlay Zone Uses.
- 1.16.110 Aspen Ridges North Overlay Zone Lot Regulations.
- 1.16.115 Aspen Ridges North Overlay Zone Housing Type Materials.
- 1.16.120 Aspen Ridges North Overlay Zone Housing Type Location, Number of Units, and Density.
- 1.16.125 Aspen Ridges North Overlay Zone Required Amenities and Specified Timeframe.
- 1.16.130 1000 North Corridor Preservation Overlay Zone Purpose.
- 1.16.135 1000 North Corridor Preservation Overlay Zone Establishment.
- 1.16.140 1000 North Corridor Preservation Overlay Zone Uses.
- 1.16.145 1000 North Corridor Preservation Overlay Zone Cut and/or Fill Slope Easement.
- 1.16.150 1000 North Corridor Preservation Overlay Zone Lot Regulations.
- 1.16.155 Rivers Edge Overlay Zone Purpose.
- 1.16.160 Pre-Annexation Agreement & Master Development Agreement.
- 1.16.165 Conflicts with the Rivers Edge Overlay Zone Uses.
- 1.16.170 Rivers Edge Overlay Zone Lot Regulations.
- 1.16.175 Rivers Edge Overlay Zone Housing Type, Location and Density.
- 1.16.180 Parking Stalls Dimensional Standards for Multi-Family Stacked Housing.
- 1.16.185 Rivers Edge Overlay Zone Required Improvements and Specified Timeframe. Table 1-Summary of Improvements.
- 1.16.190 Aspen Ridges North Overlay Zone Purpose
- 1.16.195 Zoning Development Agreement for Ord. No. 24-02
- 1.16.200 Aspen Ridges North Overlay Zone Uses
- 1.16.205 Aspen Ridges North Overlay Zone Lot Regulations
- 1.16.210 Aspen Ridges North Overlay Zone Housing Type and Density
- 1.16.215 Aspen Ridges North Overlay Zone Architectural and Design Standards & Front Yard Landscaping
- 1.16.220 Aspen Ridges North Overlay Zone Landscaping, Buffering, Fencing, and Central Trail Improvements
- 1.16.225 Aspen Ridges North Overlay Zone Required Amenities and a Specified Timeframe
- 1.16.230 Aspen Ridges North Overlay Zone Road Improvements

1.16.005 SPRING HOLLOW LEGENDS OVERLAY ZONE PURPOSE. An overlay district is intended to provide different and/or supplemental regulations or standards from the underlying zoning district necessary to address certain geographic features, land uses, or desired outcomes.

1.16.010 SPRING HOLLOW LEGENDS OVERLAY ZONE USES. The underlying zoning district of the Spring Hollow Legends Overlay Zone is R-12 and all of the land uses shall remain the same as contained in Title I Chapter 1.07 of the Tremonton City Land Use Code for the R1-12 Zoning District.

1.16.015 SPRING HOLLOW LEGENDS OVERLAY ZONE LOT REGULATIONS. This Section shall apply to all principle structures and accessory structures within the Spring Hollow Legends Overlay Zone. Whenever there is a conflict between the regulations of the underlying zoning district of R1-12 and the Spring Hollow Legends Overlay Zone lot regulations, the lot regulations contained in this section shall control.

SPRING HOLLOW LEGENDS OVERLAY ZONE LOT REGULATIONS	
	Spring Hollow Legends
LOT AREA REGULATIONS: The minimum lot area in square feet for any Single-Family Dwelling in districts regulated by this Chapter.	6,000
MAXIMUM DENSITY: The maximum number of dwelling units per acre.	
LOT WIDTH REGULATIONS: The minimum width in feet for any lot in the districts regulated by this Chapter.	60
FRONTAGE REGULATIONS: The minimum frontage in feet for any lot in the districts regulated by this Chapter.	45
Cul-d-Sac:	Not Applicable
Flag Lot:	Not Applicable
FRONT YARD SET-BACK REGULATION: The minimum depth in feet for the front yard, for main structures in districts regulated by this Chapter.	20
Structures on corner lots: front yard set-back in which the structure is addressed shall be:	20
Other front yard set-back shall be:	20
Accessory structures may have the same minimum front yard setback as the main structures if they have the same side yard setback required for main structures; otherwise they shall be setback the following number of feet from the rear of the main structure:	No Accessory Structures Allowed
REAR YARD SET-BACK REGULATIONS: The minimum setback in feet for the rear yard in the districts regulated by this Chapter shall be:	15
For Accessory Structures and Garages with no rear openings shall be:	No Accessory Structures Allowed
Accessory structures located on an alley shall meet all the requirements of this Ordinance. However, structures may have a one (1) foot setback from the alley, provided they have met all side yards and minimum distances from adjacent dwellings:	No Accessory Structures Allowed
SIDE YARD SETBACK REGULATIONS: The minimum side yard setback in feet for any dwelling in districts regulated by this Chapter shall be:	6
Total width of the two (2) side yards required shall equal:	12
For Accessory Structures and Garages with no side openings shall be:	No Accessory Structures Allowed
CARPORTS. Carports not exceeding six-hundred (600) square feet in area and not more than one (1) story in height, when attached to the main building and constructed of fire rated materials may extend no closer than one (1) foot from the side property line and the carport shall remain open on three (3) sides.	No Carports Allowed
HEIGHT REGULATIONS: The maximum height for all buildings in districts	36

SPRING HOLLOW LEGENDS OVERLAY ZONE LOT REGULATIONS	
	Spring Hollow Legends
regulated by this Chapter shall be in feet:	
Maximum Number of Stories:	2½
The minimum height of a dwelling in stories above grade:	1
The maximum height of an accessory building in feet:	No Accessory Structures Allowed

1.16.020 SPRING HOLLOW LEGENDS OVERLAY ZONE REQUIRED AMENITIES AND SPECIFIED TIMEFRAME. To mitigate the density associated with the Spring Hollow Legends Overlay Zone, the project shall have the following amenities within the specified timeframe:

A. The common walking trail, landscaping of the common areas and common parking lot shall be constructed and completed prior to issuing any Building Permit as shown on Map 1.08.

B. The developer shall on or within one (1) year after the first home has been constructed, construct and complete the Club House as shown on Map 1.08.

C. The remaining hard surface common recreation improvements (tennis court, basketball and pickle ball courts) as shown on Map 1.08 shall be constructed and completed after fifteen (15) building lots are sold or thirty-six (36) months from the date the final plat is recorded with the Box Elder County Recorder.

D. Perimeter fencing around the subdivision shall be completed after fifteen (15) building lots are sold or thirty-six (36) months from the date the final plat is recorded with the Box Elder County Recorder.

E. Front yard and side yard landscaping shall be completed at time of occupancy except during the winter season.

F. The Tremont City Council shall be authorized to substitute any of the aforementioned required amenity for another amenity through a negotiated development agreement with the developer.

1.16.025 TREMONT CENTER MIXED USE OVERLAY ZONE PURPOSE. The purpose of the Tremont Center Overlay Zone is to provide an area for higher density, larger building, with a variety of retail, office, entertainment and multi-family residential uses.

1.16.030 UNDERLYING ZONE OF THE TREMONT CENTER OVERLAY ZONE. The underlying zoning district of the Tremont Center Overlay Zone is the Mixed Use Zone as contained in Title I Chapters 1.08 and 1.09 of the Tremont City Land Use Code for Commercial Development Zone District and Mixed Use Zone District.

1.16.035 TREMONT CENTER MIXED USE OVERLAY ZONE USES. This Section shall apply to land uses within the Tremont Center Mixed Use Overlay Zone. Whenever there is a conflict between the land uses of the underlying zoning district of Mixed Use and the Tremont Center Mixed Use Overlay Zone uses, the use regulations contained in this section shall control. Uses of land or buildings which are permitted in the Tremont Center Mixed Use Overlay Zone are shown as a “P” for “permitted uses” in the appropriate column, or a “C” for “conditional uses” in the appropriate column. If a use is not permitted it is either not named in the uses list or it is indicated in the appropriate column by a dash “-” as “not permitted” or not applicable or is stated as such.

TREMONT CENTER MIXED USE OVERLAY ZONE USES ^{1 2 3}	TC-MU
Art Shop and/or Supply:	P
Automobile Sales and Service	P

TREMONT CENTER MIXED USE OVERLAY ZONE USES ^{1 2 3}	TC-MU
Bed and Breakfast:	-
Bank/Credit Union/Financial:	P
Barber/Beauty Shop/Tanning/Nails:	P
Book Store:	P
Candy Store:	P
Church/Place of Worship:	-
Clothing/Apparel/Footwear Store:	P
Communication Towers and Antennas: See Chapter 1.22 Communication Facilities Permit of this Title.	-
Convenience Store:	-
Craft and Hobby Store:	P
Dance Studio/Instruction:	P
Daycare/Preschool:	
Childcare/Preschool, Residential-Minor: See Chapter 1.24 Home Occupations & Chapter 1.19 Supplementary Regulations of this Title.	C
Childcare/Preschool, Residential-Major: See Chapter 1.24 Home Occupations & Chapter 1.19 Supplementary Regulations of this Title.	C
Child Care/Preschool, Commercial:	C
Department Stores: Clothing, home furnishings, appliances, electronics.	P
Dry Cleaning: (Dry Cleaning Drop Off Facility is Permitted)	-
Dwellings: ⁴	
Single-Family:	-
Multi-Family Twin Home:	-
Multi-Family Attached:	P
Multi-Family Stacked:	P
Accessory Dwelling Unit: (In which principle use of the building is commercial)	P
Manufactured and Modular Housing: ⁵ See Chapter 1.19 Supplementary Regulations of this Title.	-
Educational:	C
Existing Agriculture Uses:	P
Fitness/Health Center:	P
Flag Pole: See Chapter 1.19 Supplementary Regulations of this Title.	P
Florist Shop/Nursery:	P
Fuel Center, Automobile:	P
Fruit Stand:	P
Green House:	P
Grocery Store:	P
Home Occupation: See Chapter 1.24 Home Occupation Permit of this Title:	
Minor:	C
Major:	C
Hotel/Motel: When Hotel/Motel is configured like a Multi-Family Stacked Dwelling, See Definition of Dwelling Multi-Family Stacked:	C
Pets:	P
Ice Cream Shop:	P

TREMONT CENTER MIXED USE OVERLAY ZONE USES ^{1 2 3}	TC-MU
Locksmith/Lock and Key:	P
Laundry, Self Help:	P
Medical and Dental Clinic:	P
Movie Theaters:	P
Neighborhood Grocery:	P
Neighborhood Pharmacy:	P
Office, Business or Professional:	P
Office and Beauty Supply, Retail:	P
Outdoor Retail Sales:	P
Pet Shop:	P
Public Facilities:	P
Public/Quasi-Public Use:	C
Reception Center:	C
Residential Facilities for Elderly Persons: See Chapter 1.19 Supplementary Regulations of this Title.	-
Residential Facilities for Persons with a Disability: See Chapter 1.19 Supplementary Regulations of this Title.	-
Restaurant/Fast Food:	C
Retail, Big- Box Store: When square footage is limited to 75,000 square feet, see also definition in Chapter 3, for Retail, Big Box Store	P
Retail, General: Dollar Stores, Retail Auto Parts, and similar uses.	P
Shoe Store/Repair:	P
Renewable Energy Systems:	
Small Wind Energy System. See Chapter 1.23 Renewable Energy Systems Permit of this Title.	-
Solar Energy System, by conditional use permit. See Chapter 1.23 of this Title.	C
Sporting Goods, Retail:	P
Utilities, Neighborhood:	P
Utilities, Transmission, Pad, Facility:	C

¹ Note: See Chapter 1.25 of this Title, Conditional Use Permit.

² Note: See Chapter 1.26 of this Title, Site Plan Permit for uses that are Commercial, Institutional, and all Multi-Family Dwellings.

³ Note: See Chapter 1.27 of this Title, Sign Permit.

⁴ Note: No dwelling or dwelling unit shall be less than four hundred (400) square feet in living space. All dwelling units are for Single-Family occupancy. See Chapter 1.19 Supplementary Regulations of this Title for Residential Architectural Standards.

⁵ Note: Applicant shall also insure that there are no restrictive covenants that exclude Manufacturing and Modular Housing as required by Utah Code Annotated 10-9a-514. See Chapter 1.19 Supplementary Regulations of this Title for Residential Architectural Standards.

1.16.040 TREMONT CENTER MIXED USE OVERLAY ZONE LOT REGULATIONS. This Section shall apply to all structures and accessory structures in the Tremont Center Mixed Use Overlay Zone. Whenever there is a conflict between the regulations of the underlying zoning district of Mix Use Zone District and the Tremont Center Overlay Zone lot regulations, the lot regulations contained in this section shall control.

TOWN CENTER MIXED USE OVERLAY ZONE LOT REGULATIONS ^{1 2}	TC-MU
LOT AREA REGULATIONS: Minimum Lot Area in square feet in the Tremont Center Mixed Use Zone:	Note 3
Multi-Family Stacked:	

TOWN CENTER MIXED USE OVERLAY ZONE LOT REGULATIONS ^{1 2}	TC-MU
Professional/Business Office:	
Retail and Other:	
LOT WIDTH REGULATIONS: Minimum Width in feet for any lot in the Tremont Center Mixed Use Zone.	Note 4
Multi-Family Stacked	
Professional/Business Office:	
Retail:	
Hotel/Motel/Other:	
FRONTAGE REGULATIONS: Minimum Frontage in feet for any lot in the Tremont Center Mixed Use Zone. Except as modified by a Site Plan approval. (<i>Cul-d-sac, flag lot, irregular shaped lots, etc.</i>)	Note 4
FRONT YARD SET-BACK REGULATION: Minimum setback in feet for the Front Yard for structures in the Tremont Center Mixed Use Zone.	
Residential	Note 5
Commercial	Note 5
Corner Lots from both streets:	Note 5
REAR YARD SET-BACK REGULATIONS: Minimum setback in feet for the Rear Yard in the Tremont Center Mixed Use Zone.	
Residential	20
Commercial	Note 5
For Residential accessory structures with no rear openings:	10
All other accessory structures:	10
SIDE YARD REGULATIONS: Minimum Side Yard setback in feet for structures in the Tremont Center Mixed Use Zone.	
Residential:	Note 5
Professional/Business Office:	Note 5
Retail:	Note 5
All Others:	10
For Residential Accessory structures with no side openings:	-
All other Accessory structures:	10
HEIGHT REGULATIONS: Maximum Height for all buildings shall be, in feet:	
Main/Primary structure:	Note 6
Accessory structure:	20
Maximum number of stories in a Main/Primary structure:	3

¹ Note: See Chapter 1.17 of this Title Off-Street Parking Regulations.

² Note: See Chapter 1.18 of this Title Landscaping, Buffering, and Fencing Regulations.

³ Note: Minimum Lot Area: There shall be no minimum lot area in TC-MU zone, except as established with a site plan approval.

⁴ Note: Minimum Lot Width and Frontage: There shall be no minimum lot width or frontage required in the TC-MU zone except as established with a site plan approval. Each lot or parcel in TC-MU zone must front on or have legal access to a public street.

⁵ Note: Front, Rear and Side yard setbacks shall be established and approved through the Site Plan approval process.

⁶ Note: Maximum Building Height; Building Height shall be established and approved through a Site Plan approval but in no case shall the building height exceed three (3) stories.

1.16.045 TREMONT CENTER MIXED USE OVERLAY ZONE REQUIRED DESIGN GUIDELINES. To

mitigate the density associated with the Tremont Center Overlay Zone, the project shall have the following design elements:

A. A minimum of sixty (60) percent of the frontage on Main Street shall consist of by buildings facades. The facades along Main Street shall be between one and a half and two stores tall, with two story elements marking main entry drives(s) into the site. The facades should further be articulated with multiple sections using changes of plane, materials, colors or cornice heights. All these facades shall have a generous amount of windows. Facades shall be approved through the Site Plan approval process.

B. The site area between street curb and parking areas shall be designed for pedestrian use. The development shall limit the amount of parking and sponsor sidewalks, street lighting, and landscaping outdoor seating and entry plaza between property line and building line. Parking, pedestrian uses and amenities shall be approved through the Site Plan approval process.

C. Roadway interior to the site shall be designed and constructed to resemble public streets with sidewalks, street lighting and street trees. Parking shall be consolidated into small lots as much as possible and separated from roadways. Roadway interior to the site and configuration of parking areas shall be approved through the Site Plan approval process.

1.16.050 TREMONT CENTER SIGN STANDARDS. This Section shall apply to signs within the Tremont Center Mixed Use Overlay Zone. Whenever there is a conflict between the sign standards in Chapter 1.27 and the Sign Standards herein, standards in this section shall control.

A. Due to the size of Tremont Center being approximately thirty-seven` (37) acres and having a frontage along Main Street of 1,235 feet. The Tremont Center is allowed a total of three (3) Multi-Tenant Signs along its Main Street frontage, being either Multi-Tenant On Premise Pole Sign or Multi-Tenant On Premise Monument Signs, of which only one (1) of these signs may have an electronic message display. Building wall signs and monument signs along public street frontage shall be approved through a Site Plan approval process. The aforementioned signs shall be in conformance with the standards in the table below.

SIGN TYPES	SIGN STANDARDS
Multi-Tenant On Premise Pole Sign:	
Maximum Sign Area in Square Feet:	300
Maximum Sign Area if a Gateway Sign is incorporated into the sign:	360
Maximum Sign Height:	36'
Number of Signs:	1.16.050 A.
Direct or Indirect Illumination:	P
Multi-Tenant On Premise Monument Signs:	
Maximum Sign Area in Square Feet:	200
Maximum Sign Area if a Gateway Sign is incorporated into the sign:	250
Maximum Sign Height:	15'
Number of Signs:	1.16.050 A.
Direct or Indirect Illumination:	P
Wall Signs:	
Areas of sign not to exceed twenty (20) percent of total wall face area in square feet:	P
Number of Signs per Building or Space:	Note 7
Direct or Indirect Illumination:	P
Monument Signs:	
Maximum Sign Area in Square Feet:	Note 7
Maximum Sign Height:	Note 7
Number of Signs:	1
Direct or Indirect Illumination:	P

⁷ Note: Monument Signs and Wall Signs other than Multi-Tenant Monument Signs shall be approved through the Site Plan approval process; the maximum number of Wall Sign shall be one (1) per building wall face and one (1) Monument Sign. Awnings, Temporary, and other signs not listed in Section 1.16.050 shall comply with the Sign Standards in Chapter 1.27.

1.16.055 ASPEN GROVE RECREATIONAL VEHICLES (RV) PARK PURPOSE. An overlay district is intended to provide different and/or supplemental regulations or standards from the underlying zoning district necessary to address certain geographic features, land uses, or desired outcomes.

1.16.060 ASPEN GROVE RECREATIONAL VEHICLES (RV) PARK OVERLAY ZONE USES. This Section shall apply to land uses within the Aspen Grove Recreational Vehicles (RV) Park Overlay Zone. Whenever there is a conflict between the land uses of the underlying zoning district of RM-8 and the Aspen Grove Recreational Vehicles (RV) Park Overlay Zone uses, the use regulations contained in this section shall control. Uses of land or buildings which are permitted in the Aspen Grove Recreational Vehicles (RV) Park Overlay Zone are shown as a “P” for “permitted uses” in the appropriate column, or a “C” for “conditional uses” in the appropriate column. If a use is not permitted, it is either not named in the uses list or it is indicated in the appropriate column by a dash “-” as “not permitted” or not applicable or is stated as such.

ASPEN GROVE RV PARK OVERLAY ZONE USES	AG-RVP
Temporary Parking and overnight use of RV's in designated parking areas:	P
General RV Park Office:	P
Retail RV Park Convenience Store:	P
RV Park Clubhouse, Swimming Pools, Recreational Amenities:	P

1.16.065 ASPEN GROVE RECREATIONAL VEHICLES (RV) PARK OVERLAY ZONE SITE REGULATIONS. The Aspen Grove RV Park Overlay Zone shall be governed and comply with the Recreational Vehicle Park Regulations contained in Chapter 1.19 of the Supplementary Regulations.

1.16.070 STOKES WARNER SIGN STANDARDS. This Section shall apply to signs within the Stokes Warner Development, zoned Manufacturing Distribution (MD). Whenever there is a conflict between the sign standards in Chapter 1.27 and the Sign Standards herein, standards in this section shall control.

A. Signs shall be in conformance with the standards in the table below.

SIGN TYPES	SIGN STANDARDS
On Premise Pole Sign:	
Maximum Sign Area in Square Feet:	350
Maximum Sign Height:	75'
Number of Signs:	1
Direct or Indirect Illumination:	P
Multi-Tenant On Premise Pole Sign:	
Maximum Sign Area in Square Feet:	300
Maximum Sign Height:	36'
Number of Signs:	1
Direct or Indirect Illumination:	P
On Premise Monument Signs:	
Maximum Sign Area in Square Feet:	36'
Maximum Sign Height:	15'
Number of Signs:	3
Direct or Indirect Illumination:	P
Wall Signs:	
Areas of sign(s) not to exceed ten (10) percent of total wall face area in square feet:	P
Direct or Indirect Illumination:	P

1.16.075 EDGEWOOD OVERLAY ZONE PURPOSE. An overlay district is intended to provide different and/or supplemental regulations or standards from the underlying zoning district necessary to address certain geographic features, land uses, or desired outcomes. The purpose of the Edgewood Overlay Zone is to provide area for a variety of housing types allowed within the Mix Use (MU) Zone District, while prohibiting commercial uses such as stores or shops that are also allowed in the underlying Mixed Use (MU) Zone District.

1.16.080 EDGEWOOD OVERLAY ZONE USES. The underlying zoning district of the Edgewood Overlay Zone is Mixed Use (MU). Whenever there is a conflict between the regulations of the underlying zoning district of Mixed Use (MU) as contained in Title I Chapter 1.09 of the Tremonton City Land Use Code and the Edgewood Overlay Zone uses, this section shall control.

Uses of land or buildings, which are permitted in the Edgewood Overlay Zone, are shown as a "P" for "permitted uses" in the appropriate column, or a "C" for "conditional uses" in the appropriate column. If a use is not permitted, it is either not named in the uses list or it is indicated in the appropriate column by a dash "-" as "not permitted" or not applicable or is stated as such.

Commercial uses that are allowed in the underlying Mixed Use (MU) Zone District are prohibited as a permitted or conditional use within the Edgewood Overlay Zone.

EDGEWOOD OVERLAY ZONE USES	
Art Shop and/or Supply:	-

EDGEWOOD OVERLAY ZONE USES	
Assisted Living Facilities	C
Bed and Breakfast:	-
Bank/Credit Union/Financial:	-
Barber/Beauty Shop/Tanning/Nails:	-
Book Store:	-
Candy Store:	-
Church/Place of Worship:	P
Clothing Store:	-
Communication Towers and Antennas: See Chapter 1.22 Communication Facilities Permit of this Title.	-
Convenience Store:	-
Craft Store:	-
Dance Studio/Instruction:	-
Daycare/Preschool:	
Childcare/Preschool, Residential-Minor: See Chapter 1.24 Home Occupations & Chapter 1.19 Supplementary Regulations of this Title.	C
Childcare/Preschool, Residential-Major: See Chapter 1.24 Home Occupations & Chapter 1.19 Supplementary Regulations of this Title.	-
Child Care/Preschool, Commercial:	-
Drive-Up Window / Drive-Through: See Chapter 1.19 Supplementary Regulations of this Title.	-
Dry Cleaning:	-
Dwellings: ¹	
Single-Family:	P
Multi-Family Twin Home:	P
Multi-Family Attached:	P
Multi-Family Stacked:	-
Accessory Dwelling Unit: (In which principle use of the building is commercial)	-
Manufactured and Modular Housing: See Chapter 1.19 Supplementary Regulations of this Title.	P
Educational:	C
Existing Agriculture Uses:	P
Fitness Center:	-
Flag Pole: See Chapter 1.19 Supplementary Regulations of this Title.	P
Florist Shop/Nursery:	-
Fruit Stand:	-
Green House:	-
Home Occupation: See Chapter 1.24 Home Occupation Permit of this Title:	
Minor:	C
Major:	-
Hotel/Motel:	-
Household Pets:	P
Ice Cream Shop:	-
Locksmith/Lock and Key:	-
Laundry, Self Help:	-

EDGEWOOD OVERLAY ZONE USES	
Medical and Dental Clinic:	-
Neighborhood Grocery:	-
Neighborhood Pharmacy:	-
Office, Business or Professional:	-
Pet Shop:	-
Public Facilities:	P
Public/Quasi-Public Use:	C
Reception Center:	-
Residential Facilities for Elderly Persons: See Chapter 1.19 Supplementary Regulations of this Title.	P
Residential Facilities for Persons with a Disability: See Chapter 1.19 Supplementary Regulations of this Title.	P
Restaurant/Fast Food:	-
Shoe Store/Repair:	-
Renewable Energy Systems: Small Wind Energy System. See Chapter 1.23 Renewable Energy Systems Permit of this Title. *Solar Energy System, by conditional use permit. See Chapter 1.23 of this Title.	-
Sporting Goods, Retail:	-
Utilities, Neighborhood:	P
Utilities, Transmission, Pad, Facility:	C

¹ Note: No dwelling or dwelling unit shall be less than nine hundred (900) square feet in living space. All dwelling units are for Single-Family occupancy. See Chapter 1.19 Supplementary Regulations of this Title for Residential Architectural Standards.

1.16.085 EDGEWOOD OVERLAY ZONE LOT REGULATIONS. This Section shall apply to all principle structures and accessory structures within the Edgewood Overlay Zone.

EDGEWOOD OVERLAY ZONE LOT REGULATIONS	
LOT AREA REGULATIONS: Minimum Lot Area in square feet in the Edgewood Overlay Zone:	
Single-Family:	6,000
Multi-Family Twin Home:	Note 1
Multi-Family Attached:	Note 1
LOT WIDTH REGULATIONS: Minimum Width in feet for any lot in the Edgewood Overlay Zone.	
Single-Family:	60'
Multi-Family Twin Home:	Note 1
Multi-Family Attached:	Note 1
FRONTAGE REGULATIONS: Minimum Frontage in feet for any lot in the Edgewood Overlay Zone. Except as modified by a Site Plan approval. (<i>Cul-d-sac, flag lot, irregular shaped lots, etc.</i>)	45
FRONT YARD SET-BACK REGULATION: Minimum set back in feet for the Front Yard for structures in the Edgewood Overlay Zone.	20
Corner Lots from both streets:	20
Corner Lots within the fifty-five (55) plus community from one (1) street:	15
REAR YARD SET-BACK REGULATIONS: Minimum set back in feet for the Rear Yard in an Edgewood Overlay Zone.	15

EDGEWOOD OVERLAY ZONE LOT REGULATIONS	
For Residential accessory structures with no rear openings:	3
All other accessory structures:	10
SIDE YARD REGULATIONS: Minimum Side Yard setback in feet for structures in an Edgewood Overlay Zone.	
Single-Family ³ :	8
Multi-Family Twin Home:	Note 1
Multi-Family Attached:	Note 1
For Residential Accessory structures with no side openings:	3
All other Accessory structures:	10
HEIGHT REGULATIONS: Maximum Height for all buildings shall be, in feet:	
Main/Primary structure:	36
Accessory structure:	20
Maximum number of stories in a Main/Primary structure:	2
PORT-COCHERE’S, PORTICO’S AND SIMILAR STRUCTURES:	Note 2

¹ Note: Lot Regulation based on lot configuration and placement of structures on property as approved through the Site Plan approval process.

² Note: Porte-Cochère’s, Portico’s and similar structures not more than one (1) story when attached to the main building and remains open on three (3) sides may extend into the required building setback as approved through the Site Plan approval process.

³ Note: The Building Official is authorized to reduce setbacks to six (6) feet for the side yard for Single-Family homes based upon ensuring proper drainage occurs between the adjoining lots.

1.16.090 EDGEWOOD OVERLAY ZONE HOUSING TYPE LOCATION AND DENSITY. The general housing type location associated with the Edgewood Overlay Zone is shown on Map 1.09. The boundaries of the housing types shown on Map 1.09 may be expanded or contracted based upon the decision of the developer/builder, but the developer is required to develop single-family lots no less than 8,000 square feet adjacent to the existing boundaries of Archibald Estates subdivision and no lots less than 6,000 square feet adjacent to eastern boundary of the Edgewood Overlay Zone. The maximum density of the Edgewood Overlay Zone is seven (7) dwelling units per acre.

1.16.095 EDGEWOOD OVERLAY ZONE REQUIRED AMENITIES AND SPECIFIED TIMEFRAME. To mitigate the density associated with the Edgewood Overlay Zone, the project shall have the following amenities within the specified timeframe:

A. Active Adult Community. That a pickle ball court be construct in the active adult community prior to issuance of the last active adult building permit.

B. Townhouse Amenities. That the townhouse playground, pergola, picnic and barbeque grill area be constructed prior to the last issuance of the townhome building permit.

C. Variety of Building Elevations for Townhomes. That there be no less than five (5) different building elevations for the townhome project and that there are no two (2) identical building elevations that are adjacent to each other.

D. Landscaping. That the developer/builder landscape each building lot, active adult community, and townhome community within Edgewood Overlay Zone to generally coincide with the completion of the home and the issuance of a certificate of occupancy. During months of inclement weather, the developer/builder shall complete the landscaping within six (6) months of receiving a certificate of occupancy. Landscaping will include but is not limited lawn, irrigation systems to be compatible with secondary water, etc. and shall be installed in the front-yard, side-yards,

and back-yards. The developer/builder shall install street trees in the park strip with an irrigation source in accordance with Public Tree Ordinance (Chapter 8-700) of the Tremonton City Revised Ordinances.

1.16.100 ASPEN RIDGES OVERLAY ZONE PURPOSE. An overlay district is intended to provide different and/or supplemental regulations or standards from the underlying zoning district necessary to address certain geographic features, land uses, or desired outcomes.

The purpose of the Aspen Ridges Overlay Zone is to reduce the maximum number of dwelling units per acre from sixteen (16), as allowed within the underlying zoning district of Residential Multiple District, RM-16 to a maximum dwelling units of ten (10) per acre within the Aspen Ridges Overlay Zone.

1.16.105 ASPEN RIDGES OVERLAY ZONE USES. The underlying zoning district of the Aspen Ridges Overlay Zone is Residential Multiple District, RM-16 Zone District and all of the land uses shall remain the same as contained in Title I Chapter 1.07 of the Tremonton City Land Use Code for the RM-16 Zoning District.

1.16.110 ASPEN RIDGES OVERLAY ZONE LOT REGULATIONS. This Section shall apply to all principle structures and accessory structures within the Edgewood Overlay Zone.

ASPEN RIDGES OVERLAY ZONE LOT REGULATIONS	
LOT AREA REGULATIONS: Minimum Lot Area in square feet in the Aspen Ridges Overlay Zone:	
Multi-Family Twin Home:	Note 1
Multi-Family Attached:	Note 1
Multi-Family Stacked:	Note 1
LOT WIDTH REGULATIONS: Minimum Width in feet for any lot in the Aspen Ridges Overlay Zone.	
Multi-Family Twin Home:	Note 1
Multi-Family Attached:	Note 1
Multi-Family Stacked:	Note 1
FRONTAGE REGULATIONS: Minimum Frontage in feet for any lot in the Aspen Ridges Overlay Zone. Except as modified by a Site Plan approval. (<i>Cul-d-sac, flag lot, irregular shaped lots, etc.</i>)	45
FRONT YARD SET-BACK REGULATION: Minimum set back in feet for the Front Yard for structures in the Edgewood Overlay Zone.	20
Corner Lots from both streets:	20
REAR YARD SET-BACK REGULATIONS: Minimum set back in feet for the Rear Yard in Aspen Ridges Overlay Zone.	20
SIDE YARD REGULATIONS: Minimum Side Yard setback in feet for structures in Aspen Ridges Overlay Zone.	
Multi-Family Twin Home:	Note 1
Multi-Family Attached:	Note 1
Multi-Family Stacked:	Note 1
HEIGHT REGULATIONS²: Maximum Height for all buildings shall be, in feet:	
Main/Primary structure:	36
Accessory structure:	36
Maximum number of stories in a Main/Primary structure:	2
PORT-COCHERE'S, PORTICO'S AND SIMILAR STRUCTURES:	Note 3

¹ Note: Lot Regulation based on lot configuration and placement of structures on property as approved through the Site Plan approval process.

² Note: Exceptions to Height Regulations. Roof structures for the housing of elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain the building, and fire or parapet walls, skylights, towers, steeples, flag poles, chimneys, smokestacks, water tanks, wireless or television masts, theater lofts, silos, or similar structures may be erected above the height limit herein prescribed. But no space above the height limit for residential purposes shall be allowed for purposes of providing additional floor space, nor shall such increased height be in violation of any other Ordinance or regulation of Tremonton City. Public Buildings, Utility Buildings, and Multi-Family Dwellings when authorized in a district, may be erected to a height greater than the district height limit by Site Plan approval.

³ Note: Porte-Cochère's, Portico's and similar structures not more than one (1) story when attached to the main building and remains open on three (3) sides may extend into the required building setback as approved through the Site Plan approval process.

1.16.115 ASPEN RIDGES OVERLAY ZONE HOUSING TYPE MATERIALS. All building structures shall be constructed out of masonry materials including but not limited to stone, stucco, cement board, etc.

1.16.120 ASPEN RIDGES OVERLAY ZONE HOUSING TYPE LOCATION, NUMBER OF UNITS, AND DENSITY. The housing type location, number of units, and density associated with the Aspen Ridges Overlay Zone, the project shall be in accordance with Map 1.10 Aspen Ridges Overlay Housing Type Location and Density. The maximum density of the Aspen Ridges Overlay Zone is ten (10) dwelling units per acre.

1.16.125 ASPEN RIDGES OVERLAY ZONE REQUIRED AMENITIES AND SPECIFIED TIMEFRAME. To mitigate the density associated with the Aspen Ridges Overlay Zone, the project shall have the amenities noted herein. These amenities shall commence upon seventy-five (75) percent of the units being completed within the project. The completion of the amenities shall occur before the ninety (90) percent of the units being completed within the project.

A. Swimming Pool & Spa. A large swimming pool with built in splash pad along with an oversized custom in ground Jacuzzi.

B. Clubhouse. A clubhouse that features thirty (30) seat community movie theater; large great room with vaulted ceilings; and a community banquet area with kitchenette.

C. Fitness Center. Fitness center with commercial grade cardio machines, fitness equipment, surround sound system and satellite TV.

D. Playground & Pavilion. Large playground with artificial turf and oversized pavilion with numerous picnic tables.

1.16.130 1000 NORTH CORRIDOR PRESERVATION OVERLAY ZONE PURPOSE. An overlay district is intended to provide different and/or supplemental regulations or standards from the underlying zoning district necessary to address certain geographic features, land uses, or desired outcomes.

Due to the topography of the area, the expansion of 1000 North Street will require cuts and fills necessary to support the expanded travel lanes and curb gutter and sidewalks. The purpose of the fill slope easements is to ensure that these fill slopes can legally exist on private property and remain undisturbed by property owners. Additionally, expanded setbacks are necessary to ensure that the future construction of structures along 1000 North are not unduly encroach upon with the expansion of 1000 North Street.

1.16.135 1000 NORTH CORRIDOR PRESERVATION OVERLAY ZONE ESTABLISHMENT. The Tremonton City Engineer has performed preliminary engineering for the proposes of determining the boundaries of the 1000 North Corridor Preservation Overlay Zone and the future fill slopes necessary to construct the expansion of 1000 North Street. The 1000 North Corridor Preservation Overlay Zone is hereby established and the boundaries of this overlay district are shown on Map 1.11.

1.16.140 1000 NORTH CORRIDOR PRESERVATION OVERLAY ZONE USES. The 1000 North Corridor Preservation Overlay Zone spans several underlying zoning districts. The underlying zoning district of the 1000 North Corridor Preservation Overlay Zone for a particular property shall be determined by locating the current zoning of a property by using the Map 1.01 Tremonton City Zoning Map. All of the land uses shall remain the same as contained within the underlying zoning district of the respective property.

1.16.145 1000 NORTH CORRIDOR PRESERVATION OVERLAY ZONE CUT AND/OR FILL SLOPE EASEMENTS. The dedication of slope fill easements to Tremonton City is required along all frontages of property developed on 1000 North between 2300 West to Interstate 84 as a condition of receiving site plan permit, subdivision permit, or a building permit. Tremonton City shall provide the legal description for the fill slope easement along with a plot of the easement. As a condition of receiving a site plan permit, subdivision permit, or a building permit the property owner shall sign the approved fill slope easement contained in Ordinance No. 19-15 which shall be recorded in the Box Elder Records Office.

1.16.150 1000 NORTH CORRIDOR PRESERVATION OVERLAY ZONE LOT REGULATIONS. This Section shall apply to all principle structures and accessory structures within the 1000 North Corridor Preservation Overlay Zone. The Front Yard Setback along 1000 North Street between 2300 West and Interstate 84 with the 1000 North Corridor Preservation Overlay Zone shall be a minimum of fifty (50) feet, unless otherwise reduced by the written approval of the City Engineer.

1.16.155 RIVERS EDGE OVERLAY ZONE PURPOSE. The purpose of the Rivers Edge Overlay Zone is to provide different and/or supplemental regulations or standards to accommodate for a variety of housing types, housing densities, and commercial uses allowed within the Mix-Use (MU) Zone District while mitigating the impacts of these land uses within this zone and surrounding areas.

1.16.160 PRE-ANNEXATION AGREEMENT & MASTER DEVELOPMENT AGREEMENT. The Rivers Edge Overlay Zone allows for greater development activities, higher density, and range of land uses that have increased demand on municipal services or could have a detrimental impact on the development within this zone district and surrounding areas if not mitigated through specific terms, conditions, and improvements. The zoning of the Rivers Edge Overlay Zone is agreement zoning, which is legal and valid if the City follows the legal procedures and public process to establish the zone, which includes but are not limited to 1) following the public process to zoning property; 2) the City Council adopting a zoning ordinance that delineates the range of land uses, the maximum densities, and other related zoning standards for the zone; 3) the City and Developer agree to an Agreement.

The specific terms, conditions, and improvements to mitigate the detrimental impacts of density agreed to by the Developer is contained fully within Ordinance No. 21-12, adopting the Rivers Edge Pre-Annexation and Master Development Agreement for Approximately 135.5 Acres. Notwithstanding the special development requirements, conditions, and improvements required in the Agreement, the Developer is required to meet all the development requirements contained in the City's Zoning and Land Use Development Codes, the City's General Public Works, Construction Standards, and Specifications, and the Rivers Edge Overlay Zone. Ordinance No. 21-12 is a fundamental element of the Rivers Edge Overlay Zone, and amendments to this Ordinance and the Rivers Edge Pre-Annexation and Master Development Agreement for Approximately 135.5 Acres shall follow the process the rezoning and land procedure and public process for adoption of a land use regulation.

1.16.165 CONFLICTS WITH THE RIVERS EDGE OVERLAY ZONE USES. The underlying zone district of the Rivers Edge Overlay Zone is Mixed Use (MU). Whenever there is an explicit conflict between the regulations of the underlying zone district of Mixed Use (MU) as contained in Title I Chapter 1.09 of the Tremonton City Land Use Code, and the Rivers Edge Overlay Zone uses, this section shall control. If there is an explicit conflict between the Rivers Edge Pre-Annexation and Master Development Agreement for Approximately 135.5 Acres (the "Master Agreement") and the Rivers Edge Overlay Zone, the Master Agreement shall control.

Uses of land or buildings, which are permitted in the Rivers Edge Overlay Zone, are shown as a "P" for "permitted uses" in the appropriate column or a "C" for "conditional uses" in the appropriate column. If a use is not permitted, it

is either not named in the uses list or it is indicated in the appropriate column by a dash "-" as "not permitted" or not applicable or is stated as such.

RIVERS EDGE OVERLAY ZONE USES (See Notes ^{1, 2, 3, 4})	
Art Shop and/or Supply:	P
Assisted Living Facilities	P
Auto-Body Repair:	-
Auto-Body Service Center (No Fuel)	-
Automobile/Implement Sales/Service	-
Bed and Breakfast:	-
Bank/Credit Union/Financial:	P
Barber/Beauty Shop/Tanning/Nails:	P
Book Store:	P
Candy Store:	P
Church/Place of Worship:	P
Clothing Store:	P
Communication Towers and Antennas: See Chapter 1.22 Communication Facilities Permit of this Title.	-
Convenience Store (with or without fuel):	-
Craft Store:	P
Dance Studio/Instruction:	P
Daycare/Preschool:	
Childcare- Residential-Minor: See Chapter 1.24 Home Occupations & Chapter 1.19 Supplementary Regulations of this Title.	C
Child Care/Preschool, Commercial:	P
Drive-Up Window / Drive-Through: See Chapter 1.19 Supplementary Regulations of this Title and proximity requirements listed below for permitting a conditional use.	-
Dry Cleaning:	-
Dwellings: ¹	
Single-Family:	P
Multi-Family Twin Home:	P
Multi-Family Attached:	P
Multi-Family Stacked:	P
Accessory Dwelling Unit: (In which principal use of the building is commercial)	P
Educational:	C
Existing Agriculture Uses:	P
Fitness Center:	P
Flag Pole: See Chapter 1.19 Supplementary Regulations of this Title.	P
Florist Shop:	P
Fruit Stand:	P
Green House:	P
Home Occupation:	

RIVERS EDGE OVERLAY ZONE USES (See Notes ^{1, 2, 3, 4})	
See Chapter 1.24 Home Occupation Permit of this Title:	
Minor:	C
Major:	-
Hotel/Motel:	-
Household Pets:	P
Ice Cream Shop:	P
Locksmith/Lock and Key:	P
Laundry, Self Help:	-
Medical and Dental Clinic:	P
Neighborhood Grocery:	P
Neighborhood Pharmacy:	P
Office, Business or Professional:	P
Public Facilities:	P
Public/Quasi-Public Use:	C
Reception Center:	-
Residential Facilities for Elderly Persons: See Chapter 1.19 Supplementary Regulations of this Title.	P
Residential Facilities for Persons with a Disability: See Chapter 1.19 Supplementary Regulations of this Title.	P
Service Fuel Station:	-
Shoe Store/Repair:	P
Renewable Energy Systems: Small Wind Energy System. See Chapter 1.23 Renewable Energy Systems Permit of this Title. *Solar Energy System, by conditional use permit. See Chapter 1.23 of this Title.	-
Sporting Goods, Retail:	P
Utilities, Neighborhood:	P
Utilities, Transmission, Pad, Facility:	C

¹ Note: See Chapter 1.25 of this Title, Conditional Use Permit.

² Note: See Chapter 1.26 of this Title, Site Plan Permit for uses that are Commercial, Institutional, and all Multi-Family Dwellings.

³ Note: See Chapter 1.27 of this Title, Sign Permit.

⁴ Note: No dwelling or dwelling unit shall be less than four hundred (400) square feet in living space. All dwelling units are for Single-Family occupancy.

1.16.170 RIVERS EDGE OVERLAY ZONE LOT REGULATIONS. This Section shall apply to all principle structures and accessory structures within the Rivers Edge Overlay Zone.

RIVERS EDGE OVERLAY ZONE LOT REGULATIONS	
LOT AREA REGULATIONS: Minimum Lot Area in square feet in the Rivers Edge Overlay Zone:	
Single-Family:	10,000
Multi-Family Attached:	Note 1
Multi-Family Stacked:	Note 1
LOT WIDTH REGULATIONS:	

RIVERS EDGE OVERLAY ZONE LOT REGULATIONS	
Minimum Width in feet for any lot in the Rivers Edge Overlay Zone.	
Single-Family:	60'
Multi-Family Attached:	Note 1
Multi-Family Stacked:	Note 1
FRONTAGE REGULATIONS: Minimum Frontage in feet for any lot in the Rivers Edge Overlay Zone. Except as modified by a Site Plan approval. (<i>Cul-d-sac, flag lot, irregular shaped lots, etc.</i>)	
Single-Family:	45'
Multi-Family Attached:	Note 1
Multi-Family Stacked:	Note 1
FRONT YARD SETBACK REGULATION: Minimum set back in feet for the Front Yard for structures in the Rivers Edge Overlay Zone.	
Single-Family:	30'
Multi-Family Attached:	20'
Multi-Family Stacked:	15'
FRONT YARD SETBACK REGULATION: Minimum set back on corner lot for other front yard setback shall be:	
Single-Family:	20'
Multi-Family Attached:	Note 1
Multi-Family Stacked:	Note 1
REAR YARD SET-BACK REGULATIONS: Minimum set back in feet for the Rear Yard in a Rivers Edge Overlay Zone.	
Single-Family:	20'
Multi-Family Attached:	15'
Multi-Family Stacked:	15'
For Residential accessory structures with no rear openings:	3
All other accessory structures:	10
SIDE YARD REGULATIONS: Minimum Side Yard setback in feet for structures in the Rivers Edge Overlay Zone.	
Single-Family:	8
Multi-Family Attached:	10'
Multi-Family Stacked:	10'
For Residential Accessory structures with no side openings:	3
All other Accessory structures:	10
HEIGHT REGULATIONS: Maximum Height for all buildings shall be, in feet for Main/Primary structures:	
Single-Family Attached	36'
Multi-Family Attached:	36'
Multi-Family Stacked:	36'
HEIGHT REGULATIONS: Maximum Number of stories of Main/Primary Structures:	
Single-Family Attached	2.5

RIVERS EDGE OVERLAY ZONE LOT REGULATIONS	
Multi-Family Attached:	2.5
Multi-Family Stacked:	3
HEIGHT REGULATIONS: Maximum height of an Accessory structure:	
Maximum number of stories in a Main/Primary structure:	3

¹ Note: Lot configuration, setbacks, regulations, and placement of structures on property as approved through the Site Plan approval process.

1.16.175 RIVERS EDGE OVERLAY ZONE HOUSING TYPE LOCATION AND DENSITY. The general housing type and location associated with the Rivers Edge Overlay Zone is shown on Map 1.12. The boundaries of the housing types shown on Map 1.12 may be expanded or contracted based upon the decision of the developer/builder, but in all cases the developer is required to develop single-family lots no less than 10,000 square feet west of the 950 East Collector Road. The maximum density of the Rivers Edge Overlay Zone is as described herein. Housing types allowed within the Rivers Edge Overlay Zone, shown on Map 1.12 include approximately 224 townhomes on two (2) parcels totaling 14.01 acres (a maximum density of sixteen (16) units per acre); approximately 240 apartments on 10.23 acres (a maximum density twenty-four (24) units per acre); approximately 264 single-family lots with a minimum of 10,000 square feet per lot; and 5.5 acres of commercial development. The actual density shall be determined by the proposed Development Activities compliance with the dimensional standards for setbacks, parking, buffering, etc. in the Zoning Ordinances and Land Use Codes as determined during the final plat and site plan review and approval process.

1.16.180 PARKING STALLS DIMENSIONAL STANDARDS FOR MULTI-FAMILY STACKED HOUSING. For multi-family stacked housing, the parking lot standards the Developer may reduce (a) the length of the parking stalls to eighteen feet (18) and six (6) inches in length, and (b) the number of required parking stalls per dwelling to 2.1. All other parking standards for lot dimensions, aisle width, the width of parking stalls, landscaped island, etc. shall remain the same for multi-family stacked housing and other all other land uses.

1.16.185 RIVERS EDGE OVERLAY ZONE REQUIRED IMPROVEMENTS AND SPECIFIED TIMEFRAME. Ordinance No. 21-12, adopting the Master Agreement (as defined herein), identifies and requires improvements that are needed and are unique to the development and vital to the success and desired outcomes within the Rivers Edge Overlay Zone. The Agreement also describes the Developer’s responsibilities for these improvements and defines the category of the improvement, which includes Project Improvements, System Improvements, and Zoning & Density Improvements and are described below. Also listed below in *Table 1- Summary of Improvements for the Rivers Edge Overlay Zone* is a summary of the improvement, category of the improvement, and description of improvement. If questions arise to the specific details, terms, and conditions of the improvements, the Zoning Administrator shall review the Rivers Edge Pre-Annexation and Master Development Agreement for Approximately 135.5 Acres contained in Ordinance No. 21-12 for clarity.

Project Improvement. “Project Improvement” shall refer to future public facilities designed and constructed to provide municipal services to the Property or otherwise required by the City’s land use ordinances. Project Improvements may also be designed and constructed for the use and convenience of the occupants or users of the Property. Developer agrees that the Project Improvements identified within this Agreement are roughly proportionate in both the nature and extent of the impacts resulting from Development Activity. Developer agrees that Project Improvements are exactions that occur consistent with Utah Code Annotated 10-9a-508 and are not subject to any consideration of cash, Impact Fee credits, or Impact Fee reimbursement from the City.

System Improvement. “System Improvement” shall refer to existing or future public facilities designed and constructed to provide municipal services to the Property and other areas of the City. In accordance with Tremonton City Ordinance No. 14-02 and Utah Code Annotated 11-36a-402 as amended, the Parties agree that Developer may be eligible to receive a proportionate Impact Fee credit or proportionate Impact Fee reimbursement when Developer builds and dedicates some or all of a System Improvement subject to the terms contained herein. As stated elsewhere

in this Agreement, Developer agrees that if a Public Infrastructure District (PID) is established in part to construct the required System Improvements included in this Agreement, or if the PID is established and reimburses Developer for System Improvements that Developer constructed before the establishment of the PID, that the PID shall receive the proportionate Impact Fee reimbursement that Developer would otherwise have been eligible for.

Zoning and Density Improvement. “Zoning & Density Improvement” may be either Project Improvements, System Improvements, or other improvements that are designed and constructed in consideration of the City granting the residential densities described herein and to mitigate the impacts of the Rivers Edge Zoning Overlay on the Property. Zoning & Density Improvements are made through agreement zoning, which is legal and valid if the City follows the legal procedures which include but are not limited to 1) following the public process to zone property; 2) the City Council adopting a zoning ordinance that delineates the range of land uses, the maximum densities, and other related zoning standards for the subject property; 3) the City and Developer agreeing to this the zoning in a written agreement. Developer agrees that these Zoning & Density Improvements are dedicated to the City or made without any additional consideration of cash, proportionate Impact Fee credits, and proportionate Impact Fee reimbursement.

Table 1. Summary of Improvements.

Table 1- Summary of Improvements Category of Improvement → Improvements ↓	Project Improvement	System Improvement	Zoning & Density Improvement	PID Dependent	Description of Improvement
Storm water Improvements					
Land for Regional Storm water Basin		X			2.5 acres of real property dedicated to the City for a Regional Storm water Basin.
Water Shares for Regional Storm water Basin			X		2.5 water shares of Bear River Canal Company dedicated to the City to irrigate the Regional Storm water Basin.
Storm water Piping	X				Piping required to provide storm water service to the Property be constructed and dedicated to the City.
Storm water Piping Upsize		X			Alteration of the Storm water Piping as required to provide storm water service beyond the boundaries of the Property. The “Storm water Piping Upsize” is defined as the difference in pipe size needed to service the Property and the pipe size requested by the City in order to allow the Storm water Basin to serve areas outside of the Property.
Park Space and Trail Improvements					
Land for Public Park Space			X		5.462 acres of real property dedicated to the City for a Public Park Space.

Table 1- Summary of Improvements Category of Improvement → Improvements ↓	Project Improvement	System Improvement	Zoning & Density Improvement	PID Dependent	Description of Improvement
Water Shares for Public Park Space			X		5.462 water shares of Bear River Canal Company dedicated to the City to irrigate the Public Park Space.
Construction of Public Park Space Amenities and Regional Storm Drain Basin		X		X	The PID constructing a Public Park Space and Regional Storm Drain Basin, which is open and accessible to the public.
Private Recreation Amenities			X		Private recreation amenities, which shall consist of a clubhouse recreation room, swimming pool, and related amenities which are owned and maintained by a Homeowners Association.
Trail Connections- From Public Park Space to Holmgren Nature Preserve Trailhead			X		Dedication of a sixty (60') foot right-of way to the City and the construction of an eight (8) foot sidewalk within the 60' right-of-way, from the Public Park Space within the Project to the Holmgren Nature Preserve's trailhead.
Trail Connections- From planned cul-de-sac in the northwest corner of the Development to the Holmgren Nature Preserve and Trail.			X		Dedication of real property to the City and construction of a twelve (12') foot concrete trail connection between the cul-de-sac and the Holmgren Nature Trail.
Road Improvements					
950 East Collector Road Dedication and Roadway Improvements	X				950 East Collector road constructed and dedicated to the City in accordance with City standards.
Main Street Frontage Improvements	X				Main Street frontage improvements constructed and dedicated to the City in accordance with City and UDOT standards.

Table 1- Summary of Improvements Category of Improvement → Improvements ↓	Project Improvement	System Improvement	Zoning & Density Improvement	PID Dependent	Description of Improvement
450 North Collector Road Dedication and Roadway Improvements	X				450 East Collector road constructed and dedicated to the City in accordance with City standards.
Enlarged Intersection at 950 East and 450 North.	X				Enlarged intersection being constructed and dedicated to the City in accordance with City standards.
1150 East Access			X		Private access through the commercial property that creates interconnectivity between Main Street, commercial area, and multi-family attached housing.
Public Park Space Parallel Parking and Frontage Improvements			X		Alternative road section to mitigate impacts of on-street parallel parking surrounding the Public Park Space impeding traffic. Frontage improvements around the Public Park Space, which may include but is not limited to curb, gutter, sidewalks (being constructed outside the right-of-way and on the park parcel), bulb-outs for pedestrian crossings, storm drain piping and catch basins, and American Disabilities Act ramps at intersections.
Secondary Water Improvements					
Secondary Water Pump Station Site & Utility Easements			X		Dedication of real property free and clear of any encumbrances located on the west side of the East Canal, directly adjacent to the East Canal, and directly adjacent to 450 North Collector Road for a

Table 1- Summary of Improvements Category of Improvement → Improvements ↓	Project Improvement	System Improvement	Zoning & Density Improvement	PID Dependent	Description of Improvement
					secondary water pump station site along with dedicating utility easements for the entire right-of-way that comprise 950 East Collector Road and the 450 North Collector Road.
Secondary Water Pump Station		X			The pumps station shall include all associated costs and improvements necessary and accustom to the construction of a pump station, which includes but is not limited to install pumps, electiricty, SCADA, and other improvements necessary to pump water from the East Canal into a secondary water distribution system.
Secondary Water Distribution Lines	X				Developer agrees to construct and dedicate to the City Secondary Water Distribution Lines as a part of the subdivision improvement, which is necessary to provide secondary water to the Project and are roughly proportionate in both the nature and extent of the impacts resulting from the Property’s Development Activity.
Secondary Water Distribution Line Upsize		X			Alteration of the Secondary Water Distribution Lines required to provide service beyond the boundaries of the Property, City to reimburse incremental pipe and valve size increase and construction costs

Table 1- Summary of Improvements Category of Improvement → Improvements ↓	Project Improvement	System Improvement	Zoning & Density Improvement	PID Dependent	Description of Improvement
					increase to upsize the secondary water pipe and valve.
Bear River Water Canal Shares	X				Dedication of water shares to the City needed to provide secondary water for the Property's Development Activities in accordance with the City's Land Use Code 2.06.105.
Culinary Water Improvements					
Looping of Water System	X				Development's water line be connected to the existing water mains at the following planned intersections Main Street and 950 East; 450 North and State Road 13; and the commercial access and Main Street in accordance with the City's Land Use Code 2.06.010.
Architectural and Buffering Improvements					
Architectural and Design Elements for Multi-Family Attached, and Commercial			X		Multi-Family Attached housing and the Commercial, structures are to meet or exceed the architecture and design standards contained in this Agreement.
Fencing and Buffering Requirements Adjacent to Existing Homes on Main Street	X		X		A landscape buffer with a minimum width of fifteen (15) feet, and install a privacy fence and plant a continuous row of trees spaced such that when the trees reach maturity that they will create a privacy screen between multi-family attached housing/commercial developments within the Property and the existing single-family

Table 1- Summary of Improvements Category of Improvement → Improvements ↓	Project Improvement	System Improvement	Zoning & Density Improvement	PID Dependent	Description of Improvement
					homes on Main Street. The fencing is done as a Project Improvement, and the increased size of the landscape buffer is done as a Zoning & Density Improvement.
Fencing	X		X		Developer agrees to construct a six (6') privacy (completely sight obscuring) along with their Development when the adjoining parcel is adjacent to the East Canal and an Agricultural Protection Area. The fencing along the East Canal is done as a Project Improvement, and the fencing adjoining Agricultural Protections Areas is done as a Zoning & Density Improvement.
City Signage					
City signage			X		Dedication of a sign easement along the frontage of the commercial property on Main Street.

1.16.190 ASPEN RIDGES NORTH OVERLAY ZONE PURPOSE. An overlay district is intended to provide different and/or supplemental regulations or standards from the underlying zoning district necessary to address certain land uses or desired outcomes.

The purpose of the Aspen Ridges North Overlay Zone is to reduce the maximum number of dwelling units per acre from sixteen (16), as allowed within the underlying zoning district of Residential Multiple District, RM-16, to a maximum dwelling units of 9.32 per acre or 102 dwelling units within the Aspen Ridges North Overlay Zone and to provide amenities to mitigate the density and improvements need to provide municipal services.

1.16.195 ZONING DEVELOPMENT AGREEMENT FOR ORDINANCE NO. 24-02. The zoning of the Aspen Ridges North Overlay Zone is zoning by agreement for the land identified in Exhibit "E.01," which is valid if the City follows the legal procedures and public process to establish the zone, which includes, but are not limited to, 1) following the public process to zoning property; 2) the City Council adopting a zoning ordinance that delineates the range of land uses, the maximum densities, and other related zoning standards for the zone; and 3) the City and Developer executing an Agreement that formalizes the zoning requirements and negotiated amenities and improvements associated with zoning.

As formalized within the Zoning Development Agreement for Ordinance No. 24-02, the Developer agrees that the requirements, conditions, and improvements contained in the Aspen Ridges North Overlay Zone contained herein are vital to the success and desired outcomes of the Aspen Ridges North Overlay Zone.

Further, as formalized within Zoning Development Agreement for Ordinance No. 24-02, the Developer agrees and covenants to complete, construct, or otherwise fulfill the requirements and improvements within the Aspen Ridges North Overlay Zone and complete these said requirements and improvements within the timelines specified within in the Aspen Ridges North Overlay Zone, the City’s Land Use Development Code, the City’s General Public Works, Construction Standards, and Specifications, City’s Revised Ordinances without any additional consideration of cash, proportionate Impact Fee credits, and proportionate Impact Fee reimbursement.

Any amendments to the Aspen Ridges North Overlay Zone and the Zoning Development Agreement for Ordinance No. 24-02 shall follow the rezoning process, including the public process for adopting a land use regulation.

1.16.200 ASPEN RIDGES NORTH OVERLAY ZONE USES. The underlying zoning district of the Aspen Ridges Overlay Zone is Residential Multiple District, RM-16, and all of the land uses shall remain the same as contained in Title I Chapter 1.07 of the Tremonton City Land Use Code for the Residential Multiple District, RM-16 Zoning District unless specifically stated otherwise in the use table below.

Uses are shown as “P” permitted uses in the appropriate column or as “C” conditional uses in the appropriate column. If a use is not allowed, it is either not named in the uses list, or it is indicated by a dash, “-” as not permitted or not applicable or is stated as such.

ASPEN RIDGES NORTH OVERLAY ZONE USES^{1 2 3 7}	
ZONING DISTRICTS	RM-16
Accessory Buildings:	See Note 4
Agriculture, Existing:	P
Assisted Living Facilities:	-
Childcare/Preschool:	
Childcare/Preschool, Residential-Minor: See Chapter 1.24 Home Occupations & Chapter 1.19 Supplementary Regulations of this Title.	C
Childcare/Preschool, Residential-Major: See Chapter 1.24 Home Occupations & Chapter 1.19 Supplementary Regulations of this Title.	-
Churches/Places of Worship:	P
Communication Towers and Antennas: See Chapter 1.22 Communication Facilities Permit of this Title.	-
Dwellings: ^{5 6} See Chapter 1.19 Supplementary Regulations of this Title for residential architectural standards.	
Multi-Family Twin Home:	P
Multi-Family Attached:	P
Multi-Family Stacked:	-
Dwellings, Manufactured and Modular: See Chapter 1.19 Supplementary Regulations of this Title.	-
Education Facilities:	-
Flag Pole: See Chapter 1.19 Supplementary Regulations of this Title.	P
Home Occupation: See Chapter 1.24 Home Occupation Permit of this Title.	
Minor:	C
Major:	-

ASPEN RIDGES NORTH OVERLAY ZONE USES^{1 2 3 7}	
ZONING DISTRICTS	RM-16
Livestock, Large & Small:	-
Kennel: See Chapter 13 of the Revised Ordinance of Tremonton City Corporation for requirements for a Kennel License.	-
Mobile Home Park:	-
Nursing Home:	-
Public Facilities:	P
Residential Facilities for the Elderly Persons: See Chapter 1.19 Supplementary Regulations of this Title:	P
Residential Facilities for Persons with a Disability: See Chapter 1.19 Supplementary Regulations of this Title:	P
Renewable Energy Systems: See Chapter 1.23 Renewable Energy Systems Permit of this Title:	C
Swimming Pool: See Chapter 1.19 Supplementary Regulations of this Title:	P
Utilities, Neighborhood:	P
Utilities, Transmission, Pad, Facility:	C

¹ Note: See Chapter 1.25 of this Title - Conditional Uses Permit.

² Note: See Chapter 1.17 of this Title - Off-Street Parking Regulations.

³ Note: See Chapter 1.18 of this Title - Landscaping, Buffering, and Fencing Regulations.

⁴ Note: Accessory buildings serving the entire complex, such as clubhouse, pool house, bowery, etc., are permitted.

⁵ Note: All dwelling units are for Single-Family occupancy.

⁶ Note: No dwelling or dwelling unit shall be less than four hundred (400) square feet in living space.

⁷ Note: See Chapter 1.03 of this Title - Definitions.

1.16.205 ASPEN RIDGES NORTH OVERLAY ZONE LOT REGULATIONS. This Section shall apply to all principal structures and accessory structures within the Aspen Ridges North Overlay Zone.

ASPEN RIDGES NORTH OVERLAY ZONE LOT REGULATIONS	
LOT AREA REGULATIONS: Minimum Lot Area in square feet in the Aspen Ridges North Overlay Zone:	
Multi-Family Twin Home:	Note 1
Multi-Family Attached:	Note 1
LOT WIDTH REGULATIONS: Minimum Width in feet for any lot in the Bear River Meadows Overlay Zone.	
Multi-Family Twin Home:	Note 1
Multi-Family Attached:	Note 1
FRONTAGE REGULATIONS: Minimum Frontage in feet for any lot in the Aspen Ridges North Overlay Zone. Except as modified by a Site Plan approval. (<i>Cul-d-sac</i> ,	Note 1

ASPEN RIDGES NORTH OVERLAY ZONE LOT REGULATIONS	
<i>flag lot, irregular shaped lots, etc.)</i>	
FRONT YARD SET-BACK REGULATION: Minimum set back in feet for the Front Yard for structures in the Aspen Ridges North Overlay Zone.	20
Corner Lots from both streets:	Note 1
REAR YARD SET-BACK REGULATIONS: Minimum set back in feet for the Rear Yard in the Aspen Ridges North Overlay Zone.	Note 1
REAR YARD SET-BACK REGULATIONS: Minimum set back in feet for the Rear Yard in the Aspen Ridges North Overlay Zone next to the trail corridor.	20 feet, Unless the D.R.C. authorizes the use of Note 1
SIDE YARD REGULATIONS: Minimum Side Yard set back in feet for structures in the Aspen Ridges North Overlay Zone.	
Multi-Family Twin Home:	Note 1
Multi-Family Attached:	Note 1
HEIGHT REGULATIONS²: Maximum Height for all buildings shall be, in feet:	
Main/Primary structure:	36
Accessory structure:	36
Maximum number of stories in a Main/Primary structure:	2
PORT-COCHERE’S, PORTICO’S AND SIMILAR STRUCTURES:	Note 3

¹ Note: Lot Regulation based on lot configuration and placement of structures on property as approved through the Site Plan approval process.

² Note: Exceptions to Height Regulations. Roof structures for the housing of elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain the building, and fire or parapet walls, skylights, towers, steeples, flag poles, chimneys, smokestacks, water tanks, wireless or television masts, theater lofts, silos, or similar structures may be erected above the height limit herein prescribed, but no space above the height limit for residential purposes shall be allowed for purposes of providing additional floor space, nor shall such increased height be in violation of any other ordinance or regulation of Tremonton City.

³ Note: Porte-Cochère’s, Portico’s, and similar structures not more than one (1) story when attached to the main building and remaining open on three (3) sides may extend into the required building setback as approved through the Site Plan approval process.

1.16.210 ASPEN RIDGES NORTH OVERLAY ZONE HOUSING TYPE AND DENSITY. The housing type within the Aspen Ridges North Overlay Zone shall be either Multi-Family Twin Home or Multi-Family Attached, with each dwelling unit on a separate lot. Multi-Family Stacked Dwellings are prohibited.

The Overlay Zone reduces the maximum number of dwelling units in the underlying zoning of Residential Multiple District, RM-16 per acre from sixteen (16), to a maximum dwelling units of 9.32 or 102 dwelling units within the Aspen Ridges North Overlay Zone and to achieve other desired outcomes. As such, the maximum density of the Aspen Ridges North Overlay Zone is 9.32 dwelling units per acre or 102 dwelling units. The actual density within the Aspen Ridges North Overlay Zone shall be determined during the subdivision and site plan review and approval process, and compliance with the development meeting the City’s dimensional standards for setbacks, parking, stormwater retention, buffering, the right of way easement in favor of the Tremonton-Garland Drainage District, and the prescriptive easement by the Bear River Canal Company, etc.

1.16.215 ASPEN RIDGES NORTH OVERLAY ZONE ARCHITECTURAL AND DESIGN STANDARDS & FRONT YARD LANDSCAPING. To mitigate the impacts of density associated with the Aspen Ridges North Overlay Zone, the Owner agrees to construct housing that is “Substantially Similar” to the architectural renders in

Exhibit “E.02” – Architectural Renderings for Aspen Ridges North Overlay Zone.

As part of the Site Plan review process, the Developer shall submit building elevations that shall comply with the architectural and design standards contained herein. “Substantially Similar” shall be determined by the Development Review Committee (D.R.C.) during the site plan process by the D.R.C. reviewing and approving the submitted building elevations. While there is flexibility allowed in approving the building elevations by the D.R.C., the Owner & Developer covenants to propose and develop an attached housing project that has architectural and design elements that are equal to or exceed the renderings shown in Exhibit “E.02.” The D.R.C. shall use the renderings contained in Exhibit “E.02” and the architectural standards listed below in determining “Substantially Similar” or meeting or exceeding the renderings shown in Exhibit “E.02.”

A. Masonry Materials. That the building elevations, including front, side, and rear be comprised of one-hundred (100) percent of masonry, which includes brick, stone, stucco, and cement fiberboard.

B. Roofline. That there is varied roofline, as shown in the architectural renderings contained in Exhibit “E.02,” which includes but is not limited to having multiple gables extending above the eaves, that there be varied roofline heights between units and gable roofs.

C. Front Elevations and Front Doors to Face Private Streets. The front elevations of buildings should be oriented towards private streets, and the front doors should be visible from the street.

D. Garages. Each unit shall have a one-car or two-car garage, and each garage shall have a dedicated space for the garbage can.

E. Building Elevations. The building elevations constructed shall be the as shown in Exhibit “E.02.”

F. Landscaping. There shall be landscaped strips between each building to include plant materials, including trees.

1.16.220 ASPEN RIDGES NORTH OVERLAY ZONE LANDSCAPING, BUFFERING, FENCING, AND CENTRAL TRAIL IMPROVEMENTS. To mitigate the impacts of density associated with the Aspen Ridges North Overlay Zone, the Developer agrees to make the following improvements in addition to the requirements contained in Chapter 1.18 Landscaping, Buffering, and Fencing Regulations. All of these improvements enumerated below are constructed by the Developer and dedicated to Tremonton City without any additional consideration of cash, proportionate impact fee credits, and proportionate impact fee reimbursement by the City. As part of recording the subdivision improvements, the Developer agrees to provide a financial guarantee (subdivision bond) that these public improvements shall be constructed.

A. Extension of the Central Trail Corridor to 600 South. The Developer shall dedicate to the City real property necessary to extend the Central Trail corridor to 600 South in an alignment that is depicted and described in Exhibit “E.03.” The width of the corridor shall be at a minimum of twenty (20’), but shall be enlarged if necessary to allow for a sweeping turn for the section of the Central Trail that turns to align parallel with 300 West to cross over the canal. The dedication of real property shall occur with the recording of the Aspen Ridges North phase adjacent to the gap in the trail corridor from parcel 05-186-0057 (the City-owned parcel on which the Central Trail is to be constructed) and 600 South. Additionally, at the City’s request, the Developer shall dedicate the aforementioned described real property, at Developer’s expense, within sixty days (60) of the City making this request in writing. The Developer acknowledges that dedicating real property for the trail corridor, described in this section, does not reduce their ability to develop the 102 dwelling units on the Property.

B. Central Trail Improvements 600 South to 1200 South.

Trail Landscape Buffer. The Developer shall ensure a landscape buffer of no less than fifteen (15’) created along the Central Trail corridor unless otherwise approved by the Development Review Committee. The landscape buffer shall include the required improvement specified in 1.18.035 of the Land Use Code and shall be constructed with each phase of Aspen Ridges North that is recorded and thereafter developed that is adjacent to parcel 05-186-0057 (the

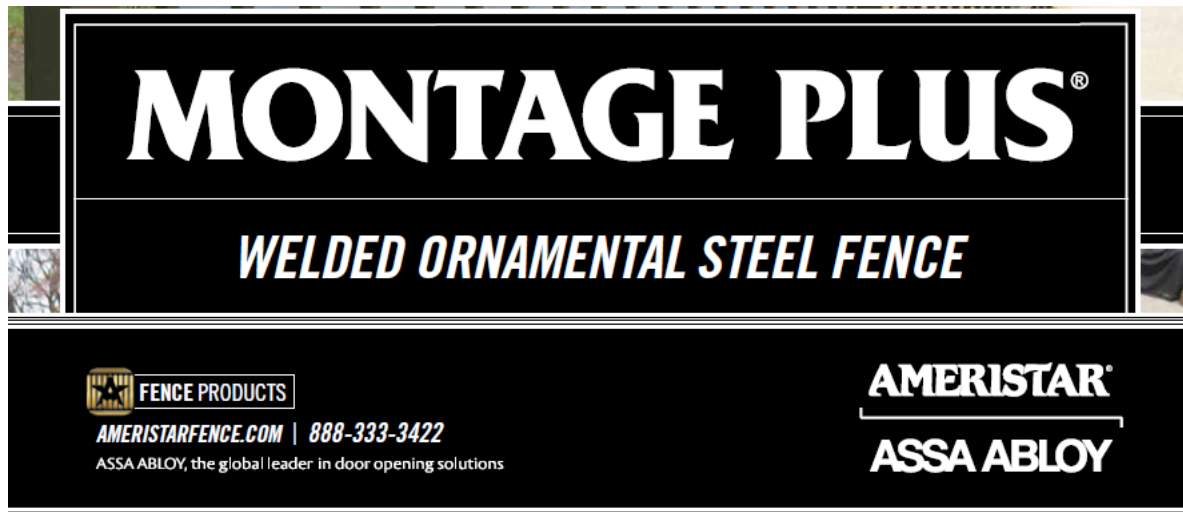
City-owned parcel on which the Central Trail is to be constructed).

Fencing & Concrete Mow Strip. The Developer shall install or otherwise construct and dedicate to the City a four (4') foot Majestic Fencing, or a commercial-grade equivalent, as shown below, with an eighteen (18") inch concrete strip located directly under the fencing to prevent vegetation from growing up through the fencing on both sides of Parcel No. 05-186-0057. The fencing shall also include self-closing gates that allow pedestrian access from the Property to the Central Trail. The fencing and concrete mow strip shall be constructed with each phase of Aspen Ridges North that is recorded and thereafter developed adjacent to parcel 05-186-0057.

Construction of Ten (10') Trail. The Developer shall construct and dedicate to the City, at the Developer's expense, a ten (10') foot wide asphalt trail from 1200 South Street to 600 South Street, with the trail section crossing the canal to be constructed of concrete. The construction of the ten (10') foot wide trail shall occur no later than the recording and development of the last phase of the Aspen Ridges North Overlay Zone.

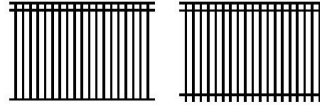
Fee-In-Lieu of Constructing Ten (10') Trail. The Developer covenants to do all within their ability to ensure that the ten (10') foot wide asphalt trail is constructed, including, if necessary, dedicating real property needed for the trail corridor so long as such dedication does not reduce the ability to develop the 102 dwelling units. However, if, for some reason, the construction of the trail is not feasible due to circumstances beyond the control of the Developer during the term that the Developer is developing Aspen Ridges North, the Developer agrees to pay a fee-in-lieu amount of no less than \$60.00 per linear foot for the ten (10') wide asphalt trail. This amount shall increase based on the percentage of inflation that has occurred since the year 2024 to the time that the payment of the fee-in-lieu is made to the City.

The City shall determine the percentage of inflation since the year 2024 by using the *Engineering News Record Construction Cost Index*. The Developer's payment of the fee-in-lieu of constructing the ten (10') foot wide trail to the City shall occur no later than the recording and developing the last phase of the Aspen Ridges North Overlay Zone. While the Developer agrees that there is no date certain of when Central Trail shall be constructed, this fee-in-lieu payment made by the Developer shall be used to construct any section of the Central Trail at the sole discretion of the Tremonton City Council or another City recreation improvement.





- 3', 3½', 4', 5' or 6' Heights
- 2-Rail or 3-Rail Panels
- Extended Picket or Flush Bottom Panels
- 4" Standard or 3" Pet, Pool & Play Picket Air-Space



C. Fencing. The Developer acknowledges that Fencing is a required improvement along the canal and railroad corridors as required by 1.18.035 of the Tremonton City Land Use Code.

1.16.225 ASPEN RIDGES NORTH OVERLAY ZONE REQUIRED AMENITIES AND A SPECIFIED TIMEFRAME. To mitigate the impacts of density associated with the Aspen Ridges North Overlay Zone, the Developer agrees to provide all of the improvements enumerated below. Unless specifically stated otherwise, these improvements are done by the Developer and dedicated to the City without any additional consideration of cash, proportionate impact fee credits, and proportionate impact fee reimbursement by the City.

A. Dedication of Water Shares. The Developer agrees to convey and dedicate to the City 3.82 water shares in the Bear River Canal Company for the irrigation of the existing Parks, which includes those enumerated in the table below, or for other existing or future parks. The conveyance and dedication of the 3.82 water shares shall occur within three (3) months of adopting the Aspen Ridges North Overlay Zone. The City shall be responsible for all fees associated with the Developer conveyance and dedication of the Bear River Canal Company water shares to Tremonton City. The Developer's dedication and conveyance of Bear River Canal Company water shares is made to the City without additional consideration of cash, proportionate impact fee credits, and proportionate impact fee reimbursement.

• Shuman Park	2.2
• Midland Square	0.28
• Harris Park Subdivision	0.5
• Harris Park Main Street	0.67
• Holmgren Trail Head	<u>0.17</u>
Total Water Shares	3.82

B. On-site Amenities Including Clubhouse, Swimming Pools, Etc. The Developer shall ensure that Aspen Ridges North Overlay Zone residents have access equal to the Aspen Ridge Townhome Project's existing clubhouse, theater, swimming pool, spa, and fitness center contained in the Aspen Ridges Development. The Aspen Ridges North Overlay Zone residents shall have access to the aforementioned amenities as they occupy dwelling units within the Aspen Ridges North Overlay Zone.

C. Minimum On-site Amenities (Playground & Park Benches). At a minimum, the Developer shall install a large on-site playground with trees and park benches with backs surrounding the playground. These amenities shall be private and owned and maintained by the Aspen Ridges Homeowners Association. The aforementioned amenities shall commence construction no later than seventy-five (75) percent of the units being completed within the project. The amenities shall be completed before ninety (90) percent of the units are completed within the project.

1.16.230 ASPEN RIDGES NORTH OVERLAY ZONE ROAD IMPROVEMENTS.

A. Frontage Improvements of 600 South. The Developer shall construct the following 600 South frontage improvements in front of the Development, which shall include a park strip, a four (4') foot sidewalk, landscaping, an irrigation system, and water shares associated with this landscaped area. The landscaping for this area shall be a similar size and scope as shown in Exhibit "E.04"; however, the final design, including size and scope, shall be based upon the Developer's Landscape Architect's proposed design being approved by the Development Review Committee and any limitations associated the Bear River Canal Company's continued use of their easement. The aforementioned improvements shall be completed with the second phase subdivision or site plan, or as the Development Review Committee determines otherwise. The Developer shall provide a financial guarantee for these landscape improvements (subdivision bond). As necessary, the Developer shall be responsible for receiving all approvals and permits from the Bear River Canal Company to landscape any area in which they claim an easement. The Developer shall expressly include language regarding the perpetual maintenance obligation of the landscaping improvements and sidewalk for the frontage improvements on 600 South in the homeowner's association Covenants, Conditions, and Restrictions recorded in the Box Elder County Recorder's Office.

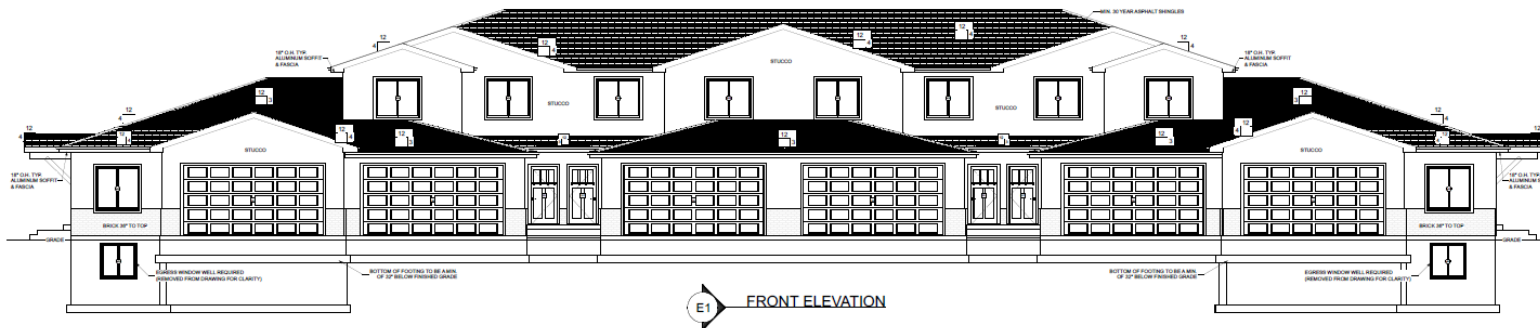
B. Enlarged Intersections at 600 South and 300 West. Developer acknowledges and agrees to construct the enlarged intersection improvements at 600 South and 300 West to accommodate all vehicular turning movements and provide trail connectivity. Due to the proximity of this intersection to the railroad tracks and the congestion that can occur when the trains prevent traffic from turning left onto 600 South, the intersection of 600 South and 300 West shall be designed to have a shared left turn and straight thru lane and a separate right turn lane with adequate stacking distances. The City Engineer and Public Works Director shall approve the intersection width and the canal crossing design to accommodate traffic circulation for all vehicle movements at the intersection, but in no case shall the width of the road be less than forty-two (42') from the back of curb to back of curb. This intersection and canal crossing shall also be designed and constructed to accommodate the ten (10') foot concrete trail, including an A.D.A. ramp at the intersection of 600 South (See Exhibit "E.03"). The Developer shall remove the existing canal crossing as shown in Exhibit "E.03." As necessary, the Developer shall be responsible for receiving all approvals and permits from the Bear River Canal Company. The enlarged intersection and trail crossing shall be completed within the second phase of the subdivision or site plan, or as required by the Development Review Committee. The Developer shall provide a financial guarantee (subdivision bond) for the improvements described in this section. The canal crossing is not a public road and shall be owned and maintained by the Aspen Ridges Homeowners Association like other private roads. The Developer shall provide an irrevocable public trail easement no less than ten (10') wide, to be recorded within the Box Elder County Recorder's Office, with the canal crossing for the Central Trail.

C. Irrevocable Cross Access Easement and Maintenance Agreement. Unless otherwise approved by the City Attorney, the Developer of Aspen Ridges North Overlay Zone and Aspen Ridge shall enter into an irrevocable cross-access easement and maintenance agreement allowing traffic from both developments to pass through their respective developments. Unless otherwise approved by the City Attorney, this irrevocable cross-access easement and maintenance agreement shall be recorded within the Box Elder County Recorder's Office.

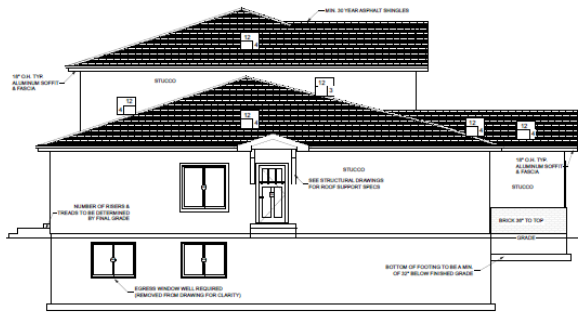
Exhibit “E.02” – Architectural Renderings for Aspen Ridges North Overlay Zone.

ASPEN RIDGES
EMERALD & SAPPHIRE 6-PLEX
TREMONTON UT. 84337





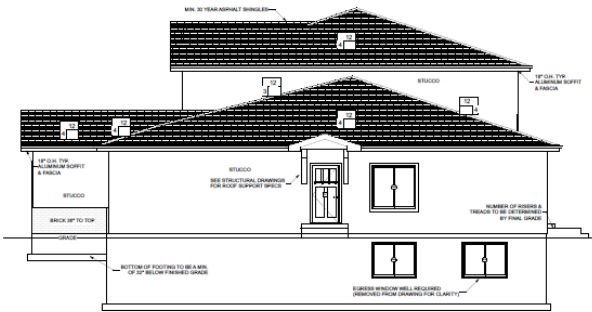
E1 FRONT ELEVATION



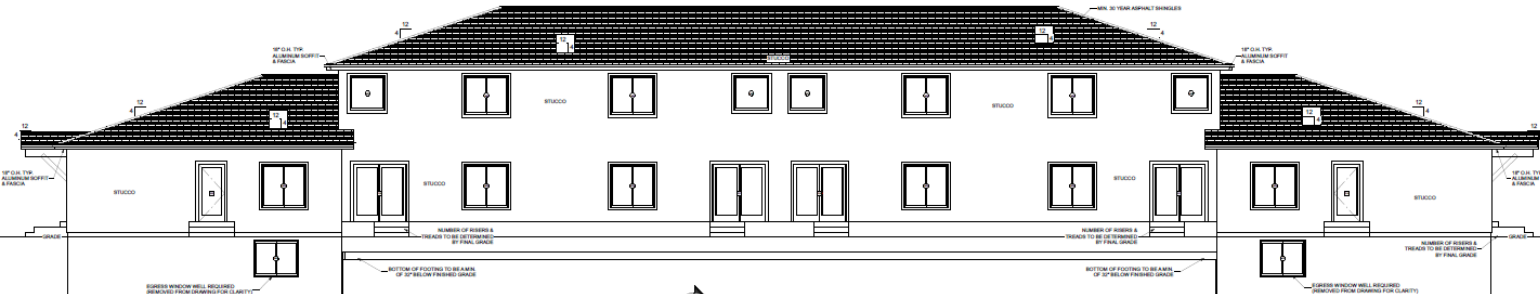
E2 LEFT ELEVATION

MINIMUM WINDOW SCHEDULE	
MIN. WINDOW	MIN. WINDOW
MIN. 1	MIN. 1
MIN. 2	MIN. 2
MIN. 3	MIN. 3
MIN. 4	MIN. 4
MIN. 5	MIN. 5
MIN. 6	MIN. 6
MIN. 7	MIN. 7
MIN. 8	MIN. 8
MIN. 9	MIN. 9
MIN. 10	MIN. 10

MINIMUM WINDOW SCHEDULE	
MIN. WINDOW	MIN. WINDOW
MIN. 1	MIN. 1
MIN. 2	MIN. 2
MIN. 3	MIN. 3
MIN. 4	MIN. 4
MIN. 5	MIN. 5
MIN. 6	MIN. 6
MIN. 7	MIN. 7
MIN. 8	MIN. 8
MIN. 9	MIN. 9
MIN. 10	MIN. 10
MIN. 11	MIN. 11
MIN. 12	MIN. 12
MIN. 13	MIN. 13
MIN. 14	MIN. 14
MIN. 15	MIN. 15
MIN. 16	MIN. 16
MIN. 17	MIN. 17
MIN. 18	MIN. 18
MIN. 19	MIN. 19
MIN. 20	MIN. 20
MIN. 21	MIN. 21
MIN. 22	MIN. 22
MIN. 23	MIN. 23
MIN. 24	MIN. 24
MIN. 25	MIN. 25
MIN. 26	MIN. 26
MIN. 27	MIN. 27
MIN. 28	MIN. 28
MIN. 29	MIN. 29
MIN. 30	MIN. 30
MIN. 31	MIN. 31
MIN. 32	MIN. 32
MIN. 33	MIN. 33
MIN. 34	MIN. 34
MIN. 35	MIN. 35
MIN. 36	MIN. 36
MIN. 37	MIN. 37
MIN. 38	MIN. 38
MIN. 39	MIN. 39
MIN. 40	MIN. 40
MIN. 41	MIN. 41
MIN. 42	MIN. 42
MIN. 43	MIN. 43
MIN. 44	MIN. 44
MIN. 45	MIN. 45
MIN. 46	MIN. 46
MIN. 47	MIN. 47
MIN. 48	MIN. 48
MIN. 49	MIN. 49
MIN. 50	MIN. 50



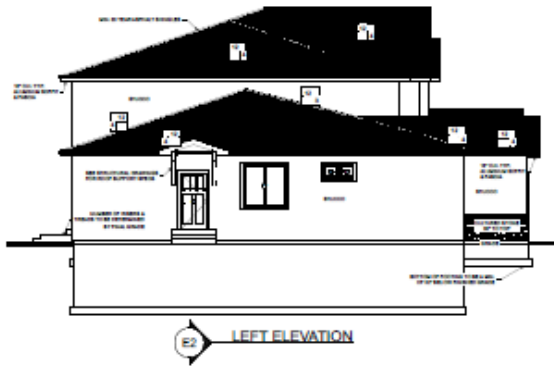
E4 RIGHT ELEVATION



ASPEN RIDGES

RUBY, SAPPHIRE, PEARL 6-PLEX
TREMONTON UT. 84337





NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	CEMENT CONCRETE	100	CU YD	
2	BRICK	10000	SQ YD	
3	ROOFING	1000	SQ YD	
4	PAINT	100	GA	
5	GLASS	100	SQ FT	
6	WOOD	100	CU YD	
7	IRON	100	LB	
8	STEEL	100	LB	
9	CEMENT	100	BA	
10	SAND	100	CU YD	
11	GRAVEL	100	CU YD	
12	ASPHALT	100	SQ YD	
13	PLASTER	100	SQ YD	
14	STUCCO	100	SQ YD	
15	INSULATION	100	SQ YD	
16	DRY WALL	100	SQ YD	
17	CEILING	100	SQ YD	
18	FLOORING	100	SQ YD	
19	ROOFING	100	SQ YD	
20	PAINT	100	GA	
21	GLASS	100	SQ FT	
22	WOOD	100	CU YD	
23	IRON	100	LB	
24	STEEL	100	LB	
25	CEMENT	100	BA	
26	SAND	100	CU YD	
27	GRAVEL	100	CU YD	
28	ASPHALT	100	SQ YD	
29	PLASTER	100	SQ YD	
30	STUCCO	100	SQ YD	
31	INSULATION	100	SQ YD	
32	DRY WALL	100	SQ YD	
33	CEILING	100	SQ YD	
34	FLOORING	100	SQ YD	
35	ROOFING	100	SQ YD	
36	PAINT	100	GA	
37	GLASS	100	SQ FT	
38	WOOD	100	CU YD	
39	IRON	100	LB	
40	STEEL	100	LB	
41	CEMENT	100	BA	
42	SAND	100	CU YD	
43	GRAVEL	100	CU YD	
44	ASPHALT	100	SQ YD	
45	PLASTER	100	SQ YD	
46	STUCCO	100	SQ YD	
47	INSULATION	100	SQ YD	
48	DRY WALL	100	SQ YD	
49	CEILING	100	SQ YD	
50	FLOORING	100	SQ YD	
51	ROOFING	100	SQ YD	
52	PAINT	100	GA	
53	GLASS	100	SQ FT	
54	WOOD	100	CU YD	
55	IRON	100	LB	
56	STEEL	100	LB	
57	CEMENT	100	BA	
58	SAND	100	CU YD	
59	GRAVEL	100	CU YD	
60	ASPHALT	100	SQ YD	
61	PLASTER	100	SQ YD	
62	STUCCO	100	SQ YD	
63	INSULATION	100	SQ YD	
64	DRY WALL	100	SQ YD	
65	CEILING	100	SQ YD	
66	FLOORING	100	SQ YD	
67	ROOFING	100	SQ YD	
68	PAINT	100	GA	
69	GLASS	100	SQ FT	
70	WOOD	100	CU YD	
71	IRON	100	LB	
72	STEEL	100	LB	
73	CEMENT	100	BA	
74	SAND	100	CU YD	
75	GRAVEL	100	CU YD	
76	ASPHALT	100	SQ YD	
77	PLASTER	100	SQ YD	
78	STUCCO	100	SQ YD	
79	INSULATION	100	SQ YD	
80	DRY WALL	100	SQ YD	
81	CEILING	100	SQ YD	
82	FLOORING	100	SQ YD	
83	ROOFING	100	SQ YD	
84	PAINT	100	GA	
85	GLASS	100	SQ FT	
86	WOOD	100	CU YD	
87	IRON	100	LB	
88	STEEL	100	LB	
89	CEMENT	100	BA	
90	SAND	100	CU YD	
91	GRAVEL	100	CU YD	
92	ASPHALT	100	SQ YD	
93	PLASTER	100	SQ YD	
94	STUCCO	100	SQ YD	
95	INSULATION	100	SQ YD	
96	DRY WALL	100	SQ YD	
97	CEILING	100	SQ YD	
98	FLOORING	100	SQ YD	
99	ROOFING	100	SQ YD	
100	PAINT	100	GA	

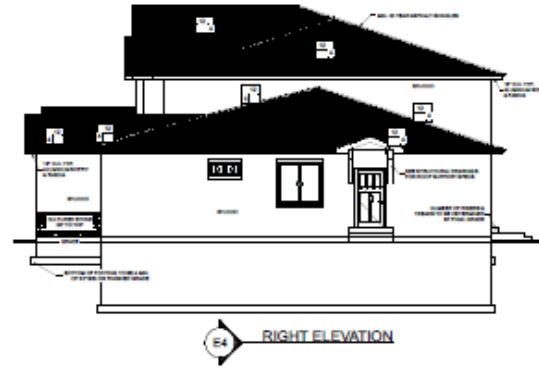
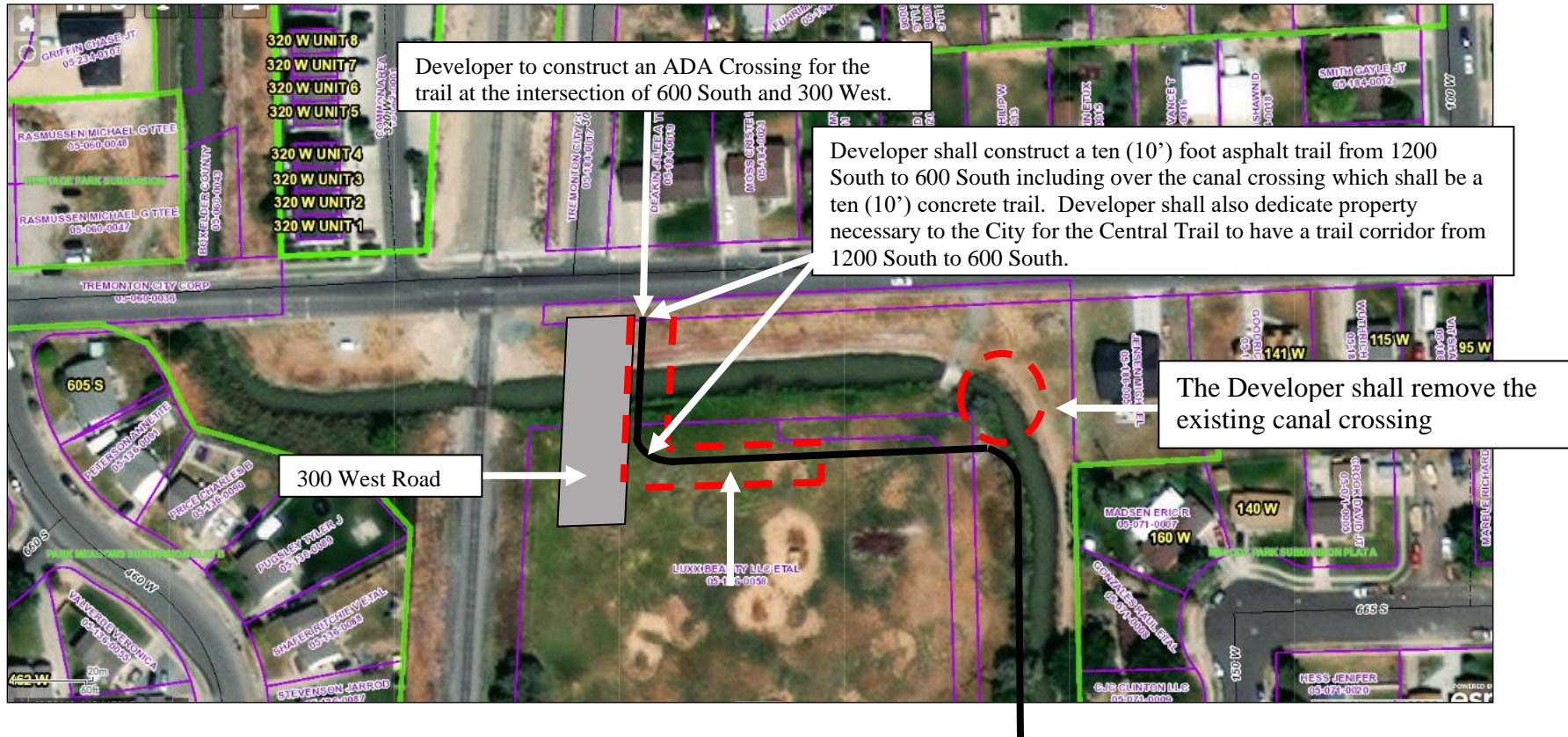


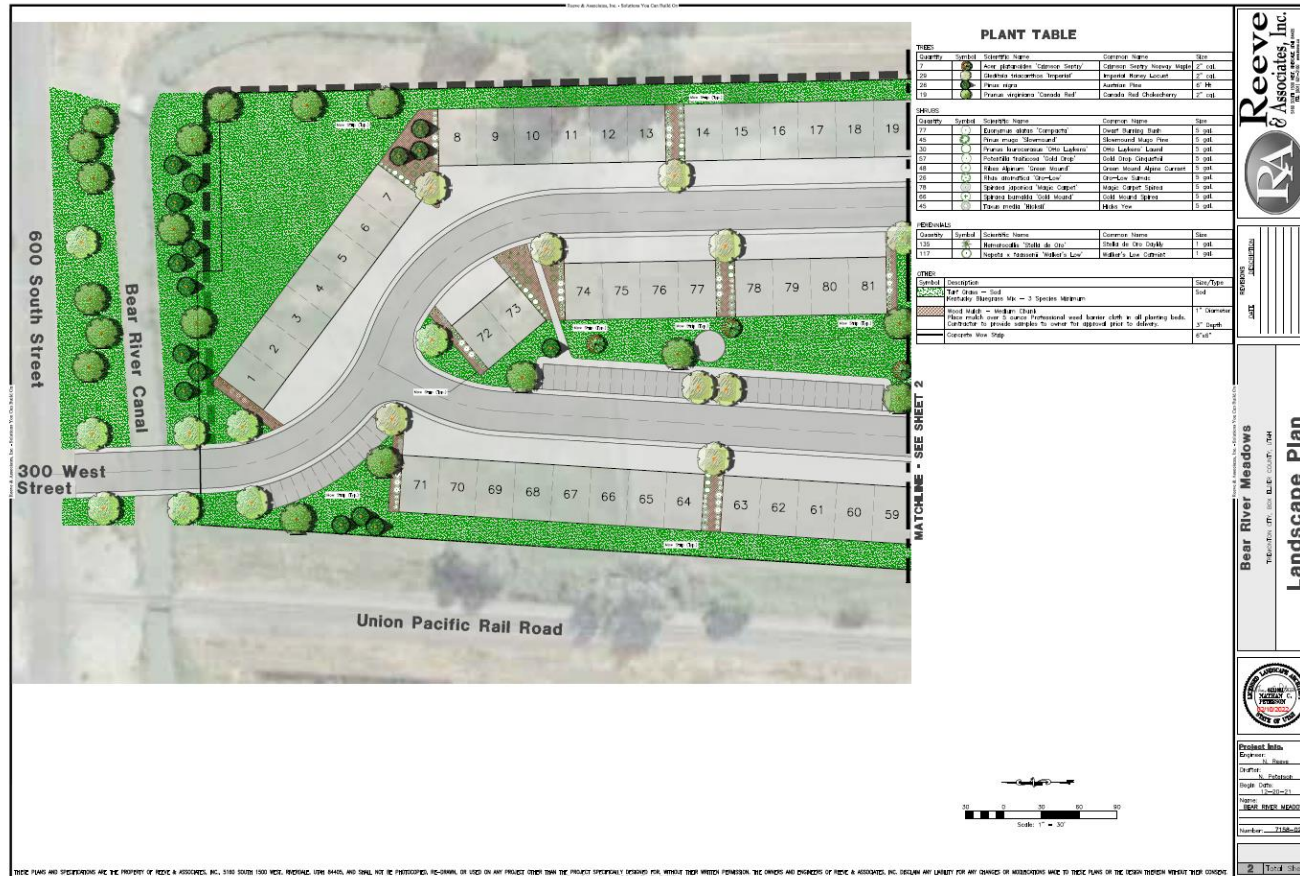
Exhibit "E.03"- Extension of the Central Trail Corridor to 600 South.



The Developer shall dedicate to the City real property to continue the trail corridor to 600 South. The area show in the dashed red line depicts the real property that the Developer shall dedicate to the City. The width of the corridor shall be at a minimum of twenty (20'), but shall be enlarged to allow for a sweeping turns for the section of the Central Trail that aligns to parallel with 300 West to cross over the canal.

Exhibit "E.04" - Frontage Improvements of 600 South

Frontage Improvements of 600 South. The Developer shall construct the following 600 South frontage improvements in front of the Development, which shall include a park strip, a four (4') foot sidewalk, landscaping, an irrigation system, and water shares associated with this landscaped area. The landscaping for this area shall be a similar size and scope as shown below; however, the final design, including size and scope, shall be based upon the Developer's Landscape Architect's proposed design being approved by the Development Review Committee and any limitations associated the Bear River Canal Company's continued use of their easement.



REV 14.03
REV 14.23
REV 15.07
REV 15.10
REV 16.11
REV 17.10
REV 18.04
REV 18.13
ORD 19-12
ORD 19-15
ORD 20-05
ORD 24-02

This page left blank.